

CONSULTANT



Paul A. Castellone

STAMP OCT 28, 2020

APARTMENT CONVERSION

845 Oaklawn Avenue
Cranston, RI 02920

PROJECT TEAM

APPLICANT (OWNER)
APPLGATE REALTY
1481 ATWOOD AVENUE
JOHNSTON, RI 02919
401-861-7788
CONTACT: CHRISTOPHER COLARDO, ESQ.
cdc@cdclaw.com

ARCHITECT
CASTELLONE ARCHITECTURE, LLC
792 GREAT ROAD, LINCOLN, RI 02865
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APARTMENT CONVERSION:

845 OAKLAWN AVENUE
CRANSTON, RI 02920

SYMBOLS LEGEND

- WALL TYPE - SEE WALL TYPE LEGEND
- DETAIL IDENTIFICATION
CUT ON ONE SHEET
SHOWN ON ANOTHER
- VERTICAL ELEVATION
FLOORLEVEL IDENTIFICATION
ELEVATION IDENTIFICATION
- SPECIFIC KEY NOTE
- DOOR TAG
- NEW DOOR / WALL
- DEMOLISHED DOOR / WALL



LIST OF DRAWINGS

- ARCHITECTURAL:
- T1 PROJECT TEAM
LOCUS PLAN
LIST OF DRAWINGS
 - T2 GENERAL NOTES
PROJECT CODE DATA
 - T3 EGRESS AND LIFE SAFETY
PLAN
 - D1 DEMOLITION PLANS, NOTES
 - A1 FLOOR PLANS
 - A2 DETAILS, SCHEDULES

NOTE TO MUNICIPAL PLAN REVIEWERS:
THESE DRAWINGS ARE SUBMITTED FOR ARCHITECTURAL BUILDING PERMIT REVIEW AND APPROVAL ONLY. MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM, AND SMOKE /FIRE DETECTION SYSTEM DESIGN / DRAWINGS WILL BE PREPARED AND SUBMITTED BY THE RESPECTIVE CONTRACTOR FOR SEPARATE REVIEW AND PERMIT APPROVAL.

DRAWING TITLE:

DRAWN BY: PAC
CHECKED BY:
DATE: JULY 13, 2017

REVISIONS:

No.	DATE	DESCRIPTION
#1	OCT 28, 2020	CODE UPDATE
#2		
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#4		

DRAWING NUMBER:

T1

ISSUED FOR PERMIT
OCT 28, 2020

GENERAL WALLTYPE NOTES

- ALL JOINTS SHALL BE TAPED AND FINISHED IN ACCORDANCE WITH THE BOARD MANUFACTURER'S WRITTEN SPECIFICATIONS.
- PRIME, PAINT, AND PREPARE WALL SUBSTRATES TO RECEIVE FINISH SPECIFIED.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL "WET" AREAS, INCLUDING TOILET ROOMS, JANITORS CLOSETS, AND IN OTHER AREAS SUBJECT TO WET CONDITIONS (ADJACENT TO KITCHEN SINKS, OR ANY OTHER PLUMBING FIXTURE.)
- REVIEW ALL DRAWINGS FOR ALL ITEMS THAT WILL REQUIRE BACK BLOCKING IN WALLS, AND COORDINATE WORK SO THAT BLOCKING IS INSTALLED PRIOR TO INSTALLATION OF SUBSTRATES OVER PARTITIONS.
- PROVIDE 3" MINIMUM SOUND ATTENUATION BLANKETS IN BATHROOM AND BEDROOM WALLS AND WHERE OTHERWISE INDICATED IN DRAWINGS.
- WHERE NON FIRE-RESISTANT RATED WALLS INTERSECT FIRE RATED WALLS, INSTALL CONTINUOUS FIRE-RATED SHEATHING OVER THE FIRE-RATED WALL PRIOR TO INSTALLING THE INTERSECTING NON-RATED WALL, SO AS NOT TO COMPROMISE THE FIRE-RATED ASSEMBLY.

GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING THEIR BID TO FAMILIARIZE THEMSELVES WITH CONDITIONS AT THE SITE. DISCREPANCIES BETWEEN PORTION OF THE DOCUMENTS ARE NOT INTENDED. THE CONTRACTOR SHALL CLARIFY AND RESOLVE ANY SUCH DISCREPANCIES WITH THE ARCHITECT PRIOR TO COMMENCING THE WORK IN QUESTIONS.
- DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS OF EQUIPMENT AND LAYOUT OF THE WORK.
- UNLESS NOTED OTHERWISE, ALL ARCHITECTURAL DIMENSIONS ARE FROM FACE OF FINISH.
- UNLESS OTHERWISE AGREED TO IN WRITING WITH THE OWNER, THE CONTRACTOR SHALL SECURE ALL PERMITS (BUILDING, MECHANICAL, ELECTRICAL, PLUMBING), AND CERTIFICATE OF OCCUPANCY, AND FEES FOR SAME.
- UNLESS OTHERWISE AGREED TO WITH THE OWNER, THE CONTRACTOR SHALL PAY FOR AND ARRANGE ANY REQUIRED TEMPORARY SERVICES.
- THE CONTRACTOR SHALL MAINTAIN CLEAN AND ORDERLY WORK AREAS AND SHALL NOTE ALLOW TRASH AND DEBRIS TO ACCUMULATE. UPON COMPLETION OF THE WORK, ALL SURFACES IN THE WORK AREAS, INCLUDING SURFACES WITH EXISTING FINISHES TO REMAIN, SHALL BE DUSTED, VACUUMED, WASHED, OR OTHERWISE CLEANED TO BE FREE OF CONTAMINANTS.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED CONTRACT DOCUMENTS, INCLUDING ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE DOCUMENTS SHALL NOT BE USED BY WORKMEN.
- CONTRACTOR SHALL COMPLY WITH ALL PUBLISHED FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR SAFETY AND ACCIDENT PREVENTION.
- CONTRACTOR SHALL MAINTAIN AT LEAST TWO TYPE 2A-10 BC FIRE EXTINGUISHERS ON SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR 24-HOUR SECUREMENT OF THE WORK PREMISES WHILE THE JOB IS IN PROGRESS UNTIL TURNOVER OF THE PROJECT TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN MEANS OF EGRESS DURING CONSTRUCTION, AS REQUIRED BY NFPA 101 LIFE SAFETY CODE, CURRENT EDITION.
- WORK BY OTHERS: THE OWNER RESERVES THE RIGHT TO PERFORM ADDITIONAL WORK THAT IS NOT PART OF THE CONTRACT WITH HIS OWN FORCES/VENDORS. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER AND HIS CONTRACTORS/VENDORS, AND COORDINATE HIS WORK WITH THE OWNER SO THAT WORK BY OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.
- ALL MATERIALS/PRODUCTS/EQUIPMENT SHALL BE FURNISHED, STORED, AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS' PUBLISHED INSTRUCTIONS. WHEN NOT IN CONFLICT WITH MANUFACTURERS' INSTRUCTIONS, MATERIALS AND METHODS SHALL ALSO BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE APPROPRIATE NATIONAL TRADE HANDBOOK (AWI QUALITY STANDARDS, USG GYPSUM CONSTRUCTION HANDBOOK, TCA HANDBOOK FOR CERAMIC TILE INSTALLATION, ETC.)
- SUBSTITUTIONS: ANY SUBSTITUTIONS FOR SPECIFIED MATERIALS/PRODUCTS/EQUIPMENT MUST BE SUBMITTED IN WRITING WITH THE BID, ALONG WITH THE REASON FOR THE SUBSTITUTION, PROPOSED PRODUCT DATA, SAMPLES, ETC., AND THE COST SAVINGS TO THE OWNER. EVALUATION FOR THE PROPOSED SUBSTITUTION MAY REQUIRE ADDITIONAL SERVICES IN THE FORM OF RESEARCH AND RE-DESIGN ON THE PART OF THE ARCHITECT AND THEIR CONSULTANTS. THE OWNER SHALL BE NOTIFIED OF THE NEED FOR ADDITIONAL SERVICES PRIOR TO REVIEW OF THE SUBSTITUTION BY THE ARCHITECT, AND THE OWNER SHALL AUTHORIZE ADDITIONAL SERVICES PRIOR TO THE ARCHITECT COMMENCING THEIR REVIEW. SUBSTITUTIONS SHALL NOT BE SUBMITTED DURING THE SUBMITTAL REVIEW PROCESS.
- WARRANTY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS, PRODUCTS, EQUIPMENT, OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR OF OWNER'S ACCEPTANCE OF THE WORK, OR AS OTHERWISE INDICATED IN SPECIFIED WARRANTIES FOR A SPECIFIC COMPONENT/EQUIPMENT/SYSTEM.
- CONTRACTOR SHALL PROVIDE NESTED BACK-BLOCKING AS REQUIRED TO ACHIEVE FIRM ATTACHMENT OF ALL ARCHITECTURAL WOODWORK, AND ALL WALL AND/OR CEILING MOUNTED FINISHES, FIXTURES, EQUIPMENT, AND ACCESSORIES.
- CONTRACTOR SHALL PROVIDE A BEAD OF SANITARY, MILDEW-RESISTANT SEALANT AT THE FOLLOWING LOCATIONS:

METAL DOOR FRAME TO WALL TRANSITION JUNCTION OF MILLWORK AND ADJACENT SURFACES, INCLUDING TOP OF BACK SPLASHES TOILET ACCESSORIES AND FIXTURES AND WALLS WINDOW FRAMES AND TRIM WORK/WALL ELSEWHERE AS INDICATED ON THE DRAWINGS, AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- PROVIDE PAINTABLE/STAINABLE SEALANT AT ALL AREAS SCHEDULED TO RECEIVE PAINT OR STAIN. REVIEW SEALANT COLOR AND LOCATIONS WITH ARCHITECT PRIOR TO FURNISHING AND INSTALLATION.
- WHERE PIPES, CONDUIT, CABLE WIRES, DUCTS, OR SIMILAR BUILDING SERVICE EQUIPMENT PASS THROUGH FIRE/SMOKE-RATED ASSEMBLIES, THE SPACE BETWEEN THE PENETRATING ITEM AND THE RATED ASSEMBLY SHALL BE FILLED WITH A MATERIAL CAPABLE OF MAINTAINING THE SMOKE/FIRE-RESISTANCE OF THE ASSEMBLY.
- IF NOT SPECIFIED OTHERWISE, COLORS AND FINISHES OF SPECIFIED PRODUCTS WILL BE SELECTED FROM MANUFACTURER'S STANDARD RANGE.
- PRODUCTS SHALL BE PROPERLY ENCLOSED IN CONTAINERS, BOXES, PACKAGES, ETC. TO PREVENT DAMAGE DURING TRANSPORTATION AND HANDLING. DELIVER IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINERS WITH LABELS INDICATING BRAND NAMES, MODEL NUMBERS, QUALITY DESIGNATIONS, FIRE RESISTANCE RATINGS, ETC.

- DESIGNATE DELIVERY DATES OF OWNER FURNISHED ITEMS IN THE CONSTRUCTION SCHEDULE. RECEIVE, UNLOAD AND HANDLE OWNER FURNISHED ITEMS TO BE INSTALLED BY THE CONTRACTOR AT THE SITE. STORE MATERIALS DELIVERED TO SITE OFF GROUND, UNDER COVER, IN DRY WELL VENTILATED LOCATIONS SECURE FROM VANDALISM AND THEFT, IN FULL CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. CAREFULLY PROTECT STORED MATERIALS FROM DAMAGE, DAMPNES, AND EXTREMES OF TEMPERATURE. PROVIDE SEPARATORS BETWEEN FINISHED MATERIALS WHICH ARE STORED IN STACKED OR LEANING POSITIONS.
- CLOSE OUT SUBMITTALS REQUIRED AT FINAL COMPLETION SHALL INCLUDE:
 - OPERATING AND MAINTENANCE MANUALS.
 - INSTRUCTION OF TENANT AND/OR BUILDING OWNER PERSONNEL IN MAINTENANCE AND OPERATION OF SYSTEMS.
 - SUBMISSION OF CERTIFICATIONS, TEST REPORTS, ETC.
 - PROVISION OF SPARE PARTS AND MAINTENANCE MATERIALS, NEATLY WRAPPED OR PACKAGED IN STANDARD SIZES, AND CLEARLY LABELED. THIS INCLUDES 5% STOCK OF CARPET, VINYL TILE, WALL COVERING AND THREE GALLONS OF PAINT OF EACH COLOR AND SHEEN SPECIFIED.
 - CERTIFICATE OF INSURANCE FOR PRODUCTS AND COMPLETED OPERATIONS.
 - TYPED LIST OF MAJOR SUB CONTRACTORS AND SUPPLIERS WITH ADDRESSES AND TELEPHONE NUMBERS.
- UPON AWARD OF CONTRACT, THE CONTRACTOR SHALL SUBMIT A LIST OF ELECTRONIC DRAWING FILES, IF ANY, THAT THEY WOULD LIKE TO RECEIVE FROM THE ARCHITECT OR ENGINEERS FOR USE IN PERFORMANCE OF THEIR CONTRACT OBLIGATIONS, INCLUDING PREPARATION OF SHOP DRAWINGS. DRAWINGS IN .PDF FORMAT WILL BE PROVIDED UPON REQUEST AT NO CHARGE. .DWG FORMAT WILL BE PROVIDED UPON RECEIPT OF A SIGNED INDEMNIFICATION AGREEMENT. THE FOLLOWING SCHEDULE OF FEES SHALL APPLY FOR THE DELIVERY OF .DWG FILES: \$200 FOR THE FIRST DRAWING; \$75 FOR EACH ADDITIONAL DRAWING.
- PLAN AND SCHEDULE WORK AND PURCHASING IN ORDER TO MINIMIZE ON SITE CONSTRUCTION TIME AND DISRUPTION OF EXISTING BUILDING OCCUPANTS AND OPERATIONS.
- THE BUILDING OWNER MAY AUTHORIZE THE CONTRACTOR TO COMMENCE WORK BASED ON THE CONTRACTOR'S AGREEMENT TO ADHERE TO CERTAIN RULES AND REGULATIONS. THE CONTRACTOR SHALL AGREE TO ANY SUCH RULES AND REGULATIONS TO THE SATISFACTION OF THE BUILDING OWNER PRIOR TO START OF WORK. A COPY OF CURRENT RULES, IF AVAILABLE SHALL BE PROVIDED BY THE BUILDING OWNER AT CONTRACTOR'S REQUEST.
- WORKMEN SHALL CONDUCT THEMSELVES IN A REASONABLE MANNER (I.E. SHALL NOT USE PROFANITY, CREATE A NUISANCE TO SURROUNDING BUILDING OCCUPANTS, LOITER IN SURROUNDING BUILDINGS, ETC.).
- IN THE EVENT THAT ANY PORTION OF THE WORK WILL DISTURB AND/OR DISRUPT ANY OTHER OPERATIONS IN THE BUILDING, MAKE ARRANGEMENTS WITH THE OWNER TO CONDUCT THE WORK AT A TIME AGREED UPON BY THE AFFECTED OPERATIONS AND/OR PARTIES. ANY AND ALL SUCH WORK AND RELATED CIRCUMSTANCES SUCH AS POWER SHUT DOWNS, PIPING, CABLING, FIRE ALARM, ETC., WILL BE COORDINATED WITH ALL AFFECTED OPERATIONS, OWNER AND AUTHORITIES HAVING JURISDICTION OVER THE AFFECTED WORK.
- DESIGN, SPECIFICATION AND CONSTRUCTION OF MECHANICAL, PLUMBING, FIRE ALARM, AND ELECTRICAL WORK REQUIRED BY THESE RENOVATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR ON A DESIGN-BUILD BASIS.

PROJECT ZONING DATA

ZONE: C2
SPECIAL FLOOD HAZARD AREA: NO
PERMITTED USES: RESIDENTIAL ABOVE BUSINESS

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PROJECT CODE DATA

BUILDING CODES:

EXISTING CONSTRUCTION AND CHANGE OF OCCUPANCY:
SBC-1, CHAPTER 34 - EXISTING STRUCTURES (SEE COMPLIANCE ALTERNATIVE SUMMARY SHEET BELOW)

SRC-1, 2002 ED. - "RHODE ISLAND STATE REHABILITATION BUILDING AND FIRE CODE FOR EXISTING BUILDINGS"
CATEGORY OF WORK (PER SRC-1): CHANGE OF OCCUPANCY CLASSIFICATION (SRC-1 CHAPTER 7)

NEW CONSTRUCTION (WHERE REQUIRED BY SRC-1 AND SBC-1, CHAPTER 34):
SBC-1, 2018 ED. - "RI STATE BUILDING CODE" (IBC 2018 ED. WITH AMENDMENTS)
RI LIFE SAFETY CODE - (NFPA LIFE SAFETY CODE, 2015 ED., WITH RI AMENDMENTS)

USE GROUP:

BASEMENT FLOOR: B BUSINESS (NO WORK THIS AREA);
FIRST FLOOR: B BUSINESS (FIRE RESISTANT CEILING INSTALLATION PER DETAIL)
SECOND FLOOR:
EXISTING: B BUSINESS (OFFICES)
PROPOSED: R-2 RESIDENTIAL APARTMENTS (4 UNITS)

PROJECT AREA (2ND FLOOR):

SECOND FLOOR (FROM ASSESSOR DATA): 3,796 S.F. (GROSS)
PROJECT AREA (4 APARTMENTS): 2,560 S.F. (GROSS)

OCCUPANT LOAD PER FLOOR SBC-1 TABLE 1004.1.2:

BASEMENT FLOOR (BUSINESS): 38 (100 GROSS)
FIRST FLOOR (BUSINESS): 38 (100 GROSS)
SECOND FLOOR (RESIDENTIAL): 8 (2 PER UNIT)

CONSTRUCTION CLASSIFICATION: PROJECT: TYPE 3 B (EXISTING)

SPRINKLER SYSTEM (SRC-1, 702.3):

EXISTING: NO
NOT REQUIRED FOR R-2 BUILDINGS WITH SLEEPING ACCOMMODATIONS BELOW THE FOURTH FLOOR AND HAVING LESS THAN SEVEN UNITS BETWEEN FIRE WALLS.

FIRE ALARM SYSTEM / SMOKE DETECTION (SBC-1 420.6): YES (EXISTING). LOCAL SYSTEM PER SECTION 23-28-25-4(g) AS AMENDED OF THE RI FIRE SAFETY CODE. (SRC-1, SECTION 701.11.4, EXCEPTION #2).
PORTABLE FIRE EXTINGUISHERS: REQUIRED - MIN. PLACEMENT: ONE (1) EXTINGUISHER WITH MINIMUM RATING OF 2-A-10-B:C PROVIDED PER FLOOR LEVEL OF LIVING UNIT. CORRIDOR LOCATIONS AS INDICATED ON DRAWINGS

	ALLOWABLE	PROPOSED
COMMON PATH OF TRAVEL (SBC-1 TABLE 1006.2.1):	75'	49'
EXIT ACCESS TRAVEL DISTANCE (SBC-1 TABLE 1017.2):	200'	160'

PROJECT NARRATIVE
CONVERSION OF FOUR EXISTING SECOND FLOOR OFFICE UNITS TO FOUR SINGLE BEDROOM DWELLING UNITS. UNITS ARE LOCATED ABOVE FOUR FIRST FLOOR BUSINESS UNITS.

- GENERAL SCOPE OF WORK TO INCLUDE:
- PARTIAL DEMOLITION OF EXISTING WALLS
 - PARTIAL DEMOLITION OF EXISTING PLUMBING FIXTURES
 - PARTIAL DEMOLITION OF EXISTING FINISHES
 - INSTALLATION OF NEW INTERIOR PARTITIONS, FINISHES, PLUMBING FIXTURES, KITCHEN CABINETS, APPLIANCES, AND INSTANT WATER HEATERS
 - MODIFICATIONS TO EXISTING SMOKE DETECTION AND FIRE ALARM SYSTEMS (DESIGN BY OTHERS)
 - DEMOLITION AND INSTALLATION OF NEW ELECTRICAL SWITCHES, OUTLETS, LIGHT FIXTURES, AND UNIT ELECTRIC SUB-PANELS (DESIGN BY OTHERS)

FIRE SEPARATION REQUIREMENTS:

EXISTING STAIR ENCLOSURE: PERMITTED: 20 MINUTES
EXISTING: 1 HR EQUIVALENT

MIXED OCCUPANCY SEPARATION: NOT REQUIRED. SEE "COMPLIANCE ALTERNATIVES" BELOW

CORRIDOR WALLS (SRC-1, 702.4.3, EXCEPTION): 30 MINUTES (LESS THAN 10 OCCUPANT LOAD)

CORRIDOR WALLS (NFPA 101 31.3.6.1.1): 1 / 2 HR FIRE BARRIER

CORRIDOR ACCESS DOORS: 20 MINUTES, CLOSERS REQUIRED

DWELLING UNIT SEPARATION WALLS (SBC-1, SECTION 708.3): 1 HR

HAZARDOUS AREA PROTECTION (NFPA 101, TABLE 30.3.2.1.1): NOT APPLICABLE

SOUND TRANSMISSION REQUIREMENTS (SBC-1, SECTION 1207):

WALLS, FLOOR/CEILING ASSEMBLIES: STC >50 (AIR-BORNE)
FLOOR/CEILING ASSEMBLIES: IIC >50 (STRUCTURE-BORNE)

FIRE ALARM AND ANNUNCIATION (NFPA 101, 30.3.4.3.4: NOT REQUIRED IN BUILDINGS 2 OR FEWER STORIES IN HEIGHT, AND HAVING NOT MORE THAN 50 DWELLING UNITS)

SMOKE ALARMS AND DETECTION (NFPA 101, 31.3.4.5): INSTALLED IN ALL SLEEPING ROOMS, OUTSIDE SLEEPING AREAS, AND ON ALL LEVELS OF DWELLING UNIT.

CARBON MONOXIDE ALARMS AND DETECTION (NFPA 101, 30.3.4.6): INSTALLED IN DWELLING UNITS CONTAINING A PERMANENTLY INSTALLED FUEL BURNING APPLIANCE.

ACCESSIBILITY (SRC-1, CHAPTER 10):

ACCESSIBLE ROUTE (SRC-1, 1003.9 DISPROPORTIONALITY): ALTERATIONS TO PROVIDE AN ACCESSIBLE PATH OF TRAVEL TO THE ALTERED AREA (CURBS, RAMPS, ELEVATOR) EXCEED 20% OF THE COST OF THE ALTERATION.

ELEVATOR SRC-1, 1004.1): NOT REQUIRED IF LESS THAN 3 STORIES OR LESS THAN 3,000 SF/STORY

ACCESSIBLE UNITS (SRC-1, 1002.5): "IF PROVIDING ACCESSIBILITY IN CONFORMANCE TO INDIVIDUALS WITH CERTAIN DISABILITIES (E.G. THOSE WHO USE WHEELCHAIRS) WOULD NOT BE FEASIBLE, THE FACILITY SHALL BE MADE ACCESSIBLE TO PERSONS OF OTHER TYPES OF DISABILITIES (E.G. THOSE WHO USE CRUTCHES, THOSE WITH IMPAIRED VISION OR HEARING, OR THOSE WITH OTHER IMPAIRMENTS)"

DETECTION, ALARM, AND COMMUNICATION SYSTEMS (30.3.4.3): VISIBLE SIGNALS SHALL BE INSTALLED IN UNITS DESIGNATED FOR THE HEARING IMPAIRED.

COMPLIANCE ALTERNATIVE

**CHAPTER 34
TABLE 3412.7
SUMMARY SHEET - BUILDING CODE**

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
3412.6.1	Building Height	1.84	1.84
3412.6.2	Building Area	22.47	22.47
3412.6.3	Compartmentation	14	14
3412.6.4	Tenant and Dwelling Unit Separations	-4	-4
3412.6.5	Corridor Walls	-3	-3
3412.6.6	Vertical Openings	1	1
3412.6.7	HVAC Systems	0	0
3412.6.8	Automatic Fire Detection	6	6
3412.6.9	Fire Alarm Systems	0	0
2412.6.10	Smoke Control	*****	0
3412.6.11	Means of Egress Capacity	*****	0
3412.6.12	Dead Ends	*****	2
3412.6.13	Maximum Exit Access Travel Distance	*****	0.125
3412.6.14	Elevator Control	*****	-2
3412.6.15	Means of Egress Emergency Lighting	4	4
3412.6.16	Mixed Occupancies	0	0
3412.6.17	Automatic Sprinklers	-3	*****
3412.6.18	Standpipes	0	2
3412.6.19	Incidental Use	0	0
BUILDING SCORE - TOTAL VALUE	39.31	42.435	39.435

**MADATORY SAFETY SCORES
(TABLE 3412.8)**

OCCUPANCY "R"	21	38	38
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P.A. Castellone

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GENERAL NOTES**

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DRAWING NUMBER:

T2

ISSUED FOR PERMIT
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APARTMENT CONVERSION:

845 OAKLAWN AVENUE
CRANSTON, RI 02920

DRAWING TITLE:
DEMOLITION
PLAN

DRAWN BY: PAC
CHECKED BY:
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REVISIONS:	No.	DATE	DESCRIPTION
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#2			
#3			
#4			

DRAWING NUMBER:

D1

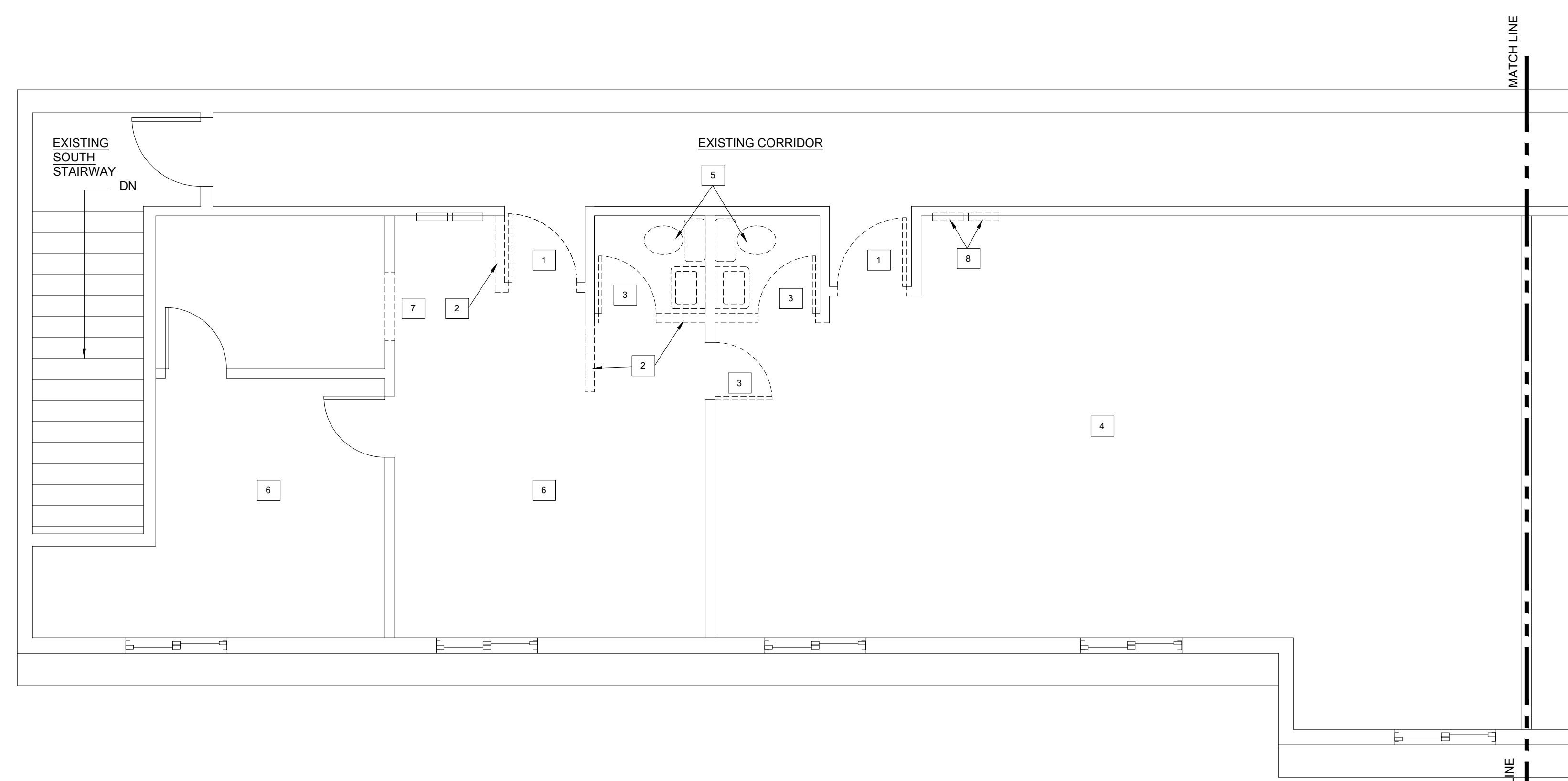
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GENERAL DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. SECURE REQUIRED PERMITS. ARRANGE WITH BUILDING OWNER AND/OR APPROPRIATE UTILITY COMPANIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATIONS.
- IN THE EVENT THAT SUSPECTED HAZARDOUS MATERIALS ARE DISCOVERED DURING THE COURSE OF DEMOLITION, CEASE WORK IMMEDIATELY AND NOTIFY THE BUILDING OWNER OF ANY SUCH DISCOVERIES.
- CONSULT WITH OWNER AND FIRE OFFICIALS PRIOR TO MAKING ANY ALTERATIONS TO THE EXISTING FIRE ALARM AND SPRINKLER SYSTEMS.
- COORDINATE ALL DEMOLITION OPERATIONS WITH OWNER FOR SHUTDOWN PERIODS AND SEQUENCE OF WORK. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, SIGNAGE, AND PROTECTIVE ENCLOSURES REQUIRED TO PROPERLY SECURE, ISOLATE, WATERPROOF, AND PROTECT AREAS OF WORK FROM EXISTING AREAS TO REMAIN IN OPERATION AND TO ASSURE CONTINUING FACILITY OPERATIONS IN GENERAL. IDENTIFY AND PROTECT ANY AREAS WHERE DEMOLITION IS TO TAKE PLACE WHERE THE DEMOLITION CREATES A PHYSICAL SAFETY HAZARD. THE CONTRACTOR SHALL KEEP THE CORRIDORS AND EXITS CLEAR OF DEBRIS, STORED MATERIALS, ETC., AT ALL TIMES TO PROVIDE REQUIRED FIRE EGRESS FROM THE BUILDING.
- MAKE EVERY EFFORT POSSIBLE TO MINIMIZE DISTURBANCES TO BUILDING OCCUPANTS. COORDINATE HOURS OF DISRUPTIVE DEMOLITION WITH BUILDING OWNER PRIOR TO COMMENCEMENT.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE REMOVED WHETHER SPECIFICALLY ITEMIZED OR NOT. TERMINATE, CAP AND REMOVE ALL ABANDONED ELECTRICAL CONDUIT, WIRING BOXES, SWITCHES, ETC; PLUMBING, PIPING, AND PLUMBING FIXTURES, ETC; HVAC DUCTWORK, CONTROLS, PIPING, ETC; AS REQUIRED.
- WHEN WALLS, COLUMNS, OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT IMPOSED LOADS. ANY STRUCTURAL BRACING DISCOVERED DURING DEMOLITION IS NOT TO BE REMOVED, NOTIFY ARCHITECT OF ANY AND ALL SUCH DISCOVERIES IMMEDIATELY.
- WHERE EXISTING WALL SUBSTRATES REMAIN AS BASE MATERIAL SURFACES FOR INSTALLATION OF NEW FINISHES, REMOVE PROJECTIONS, FILL VOIDS, SECURE OR REMOVE AND REPLACE ANY EXISTING LOOSE OR OTHERWISE UNSUITABLE SUBSTRATE MATERIALS AND ADD BLOCKING OR STRAPPING TO RECEIVE NEW MATERIALS AND FINISHES. STRIP EXISTING WALL FINISH MATERIAL TO EXPOSE SUBSTRATE WHERE NEEDED.
- PATCH, REPAIR AND REFINISH ALL SURFACES TO MATCH AND ALIGN WITH EXISTING ADJACENT SURFACES SCHEDULED TO REMAIN, AND PREPARE TO RECEIVE NEW FINISHES SPECIFIED. WORK SHALL INCLUDE ALL LABOR AND MATERIALS ON ALL SURFACES REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- REPLACE IN KIND ANY EXISTING CONSTRUCTION, OR ITEM INTENDED TO REMAIN, OR BE SALVAGED FOR REUSE, BUT DAMAGED OR LOST AS A RESULT OF THE WORK OF THIS CONTRACT.
- REUSE OF SALVAGED MATERIALS NOT SPECIFICALLY SCHEDULED FOR REUSE, WILL BE AT THE SOLE DISCRETION OF THE OWNER. IN NO CASE SHALL SALVAGED MATERIAL BE INCORPORATED IN THE WORK THAT DOES NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS.
- ITEMS TO BE SALVAGED BUT NOT SO SCHEDULED ON THE DEMOLITION PLAN SHALL BE CONFIRMED BY THE CONTRACTOR WITH THE OWNER. ALL ITEMS TO BE TURNED OVER TO THE OWNER, SHALL BE PROTECTED DURING DEMOLITION AND REMOVAL AND SHALL BE DELIVERED IN AN UNDAMAGED CONDITION.
- REMOVE ALL DEMOLISHED MATERIALS NOT SCHEDULED FOR SALVAGE AND REUSE, OR THOSE TO BECOME PROPERTY OF THE OWNER, FROM THE SITE AND DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- DISCONNECT ALL ELECTRICAL POWER TO ITEMS, AREAS, ELEMENTS INVOLVED IN THE DEMOLITION PRIOR TO DEMOLITION.
- CONFINE TOOLS AND EQUIPMENT, STORAGE OF MATERIALS AND OPERATIONS TO LIMITS DESIGNATED BY THE BUILDING OWNER. THE PREMISES SHALL BE MAINTAINED IN SAFE, ORDERLY CONDITION AT ALL TIMES. REMOVE DEBRIS DAILY. COVER DUMPSTERS WITH FIRE RESISTANT TARPS SECURELY FASTENED TO PREVENT VANDALISM.
- DEMOLITION PLANS SHALL BE USED IN CONJUNCTION WITH DRAWINGS FOR NEW CONSTRUCTION (EXTERIOR ELEVATIONS, DETAILS, ETC.) SO THAT EXACT LIMIT AND BOUNDARIES OF SPECIFIC DEMOLITION MAY BE DETERMINED.
- ENSURE THAT ALL ELECTRICAL, MECHANICAL, FIRE PROTECTION, VOICE/DATA WIRING, AND PLUMBING SYSTEMS SERVING BASE BUILDING SYSTEMS WILL REMAIN OPERATIONAL DURING THE COURSE OF DEMOLITION. SURVEY THE SITE BEFORE STARTING WORK TO IDENTIFY LOCATIONS OF THESE SYSTEMS.

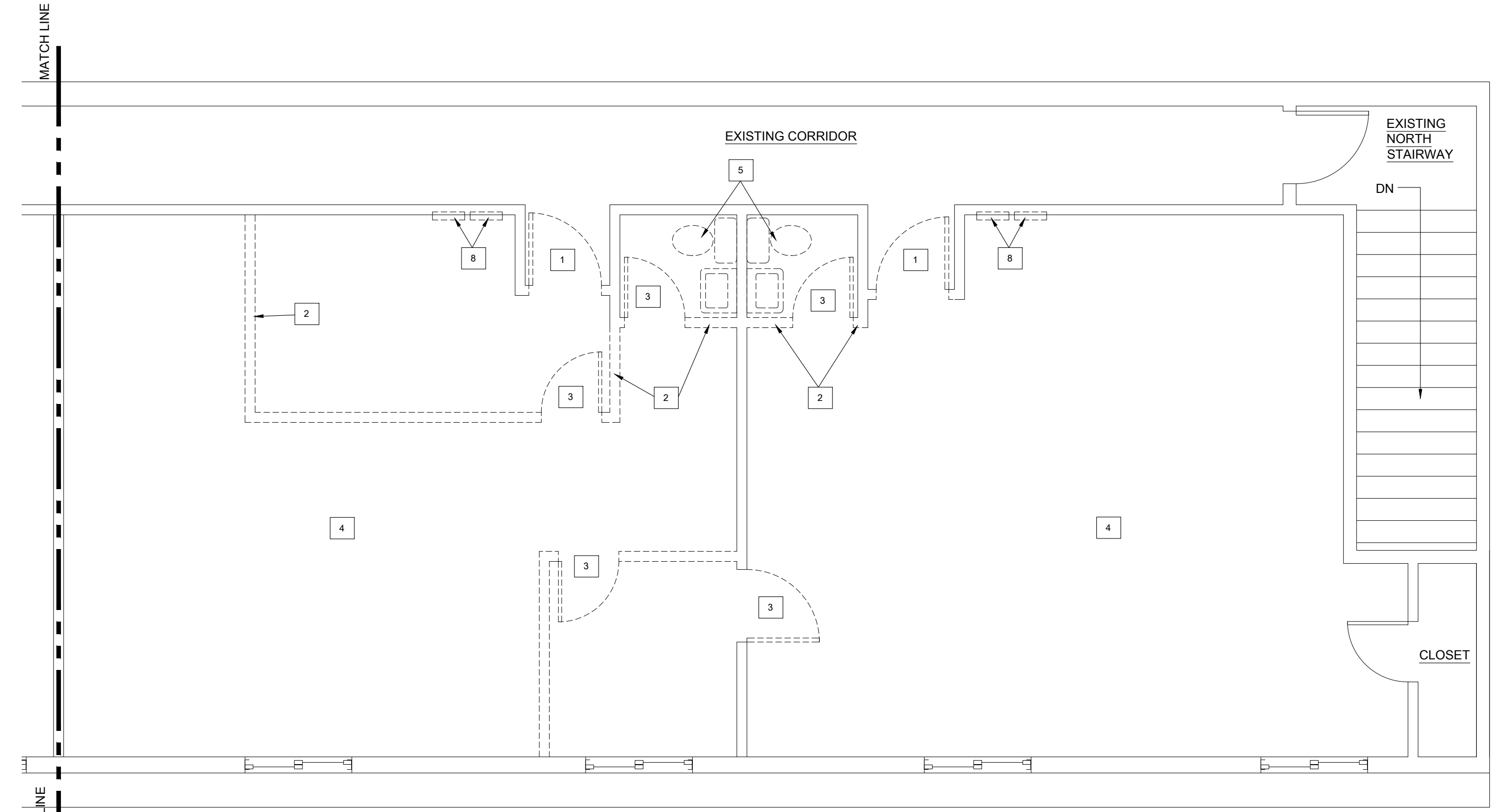
SPECIFIC
DEMOLITION PLAN
KEY NOTES

- REMOVE / DISPOSE OF EXISTING ENTRANCE DOOR
- PARTIALLY REMOVE EXISTING WALL
- REMOVE / SALVAGE EXISTING INTERIOR DOOR
- REMOVE EXISTING CARPET AND PAD, PREPARE SUB FLOOR TO RECEIVE NEW FLOORING.
- REMOVE / DISPOSE OF EXISTING PLUMBING FIXTURES
- EXISTING CARPET IN ROOM 201 TO REMAIN. PARTIALLY REMOVE CARPET / PAD AT LOCATIONS OF NEW BATHROOM AND KITCHEN AREA.
- PARTIALLY REMOVE, FRAME NEW OPENING FOR NEW DOOR
- REMOVE / DISPOSE OF EXISTING ELECTRIC SUB PANEL



FLOOR PLAN - 201 (463 SF)
1/4" = 1'-0"

FLOOR PLAN - 202 (688 SF)
1/4" = 1'-0"



FLOOR PLAN - 203 (624 SF)
1/4" = 1'-0"

FLOOR PLAN - 204 (597 SF)
1/4" = 1'-0"

CONSULTANT



P.A. Castellone
STAMP OCT 28, 2020

APARTMENT CONVERSION:
845 OAKLAWN AVENUE
CRANSTON, RI 02920

DRAWING TITLE:
FLOOR PLAN

DRAWN BY: PAC
CHECKED BY:
DATE: JULY 13, 2017

REVISIONS:

No.	DATE	DESCRIPTION
#1	OCT 28, 2020	CODE UPDATE
#2		
#3		
#4		

DRAWING NUMBER:

A1

ISSUED FOR PERMIT
OCT 28, 2020

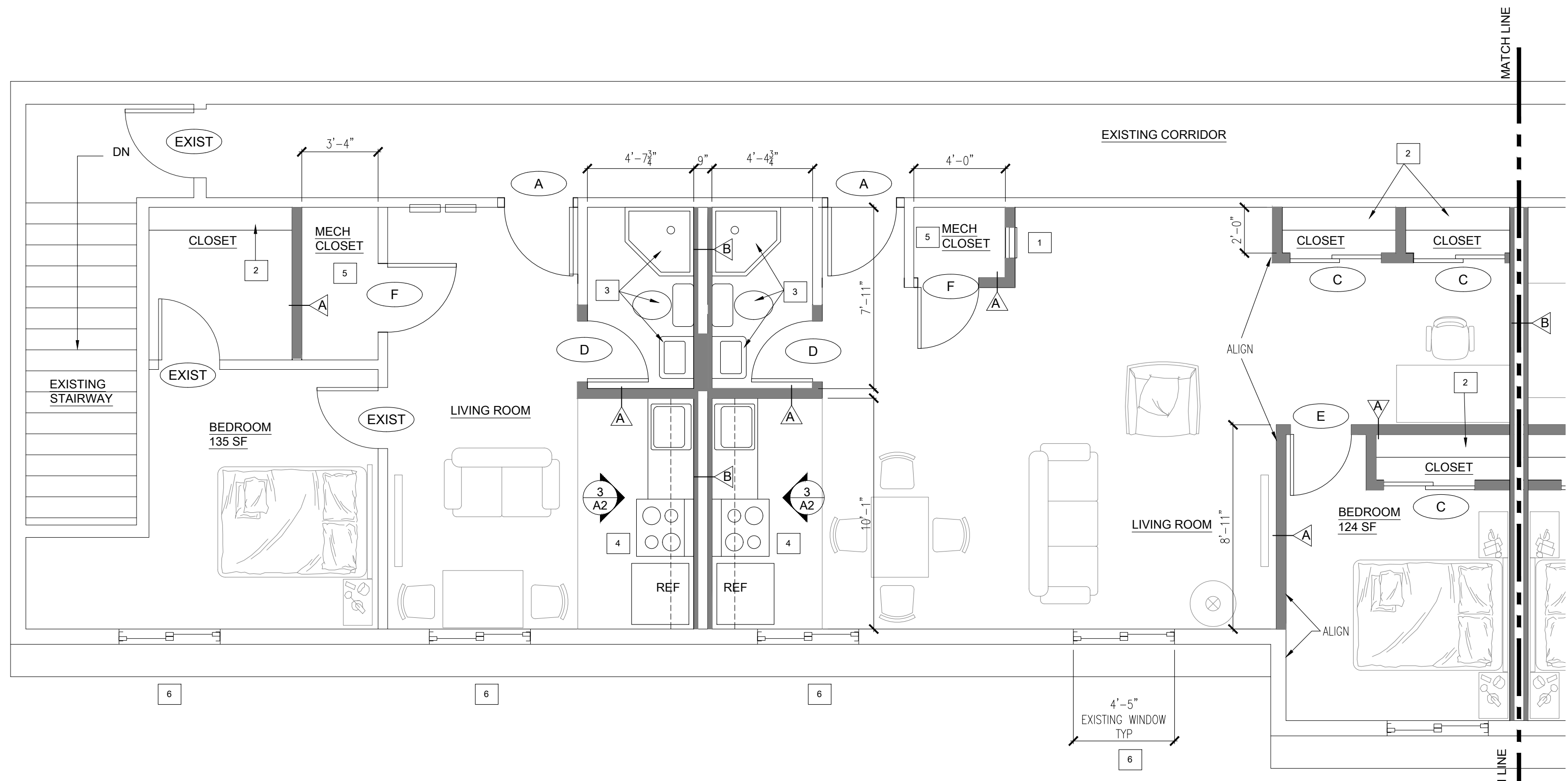
- SPECIFIC FLOOR PLAN KEY NOTES**
- NEW ELECTRIC PANEL. (DESIGN / SPECIFICATION BY OTHERS)
 - COAT ROD, METAL BRACKETS, MELAMINE SHELF
 - NEW PLUMBING FIXTURES
 - NEW GAS STOVE/OVEN
 - LOCATION OF NEW GAS-FIRED INSTANT WATER HEATER LOCATED IN MECHANICAL CLOSET, DESIGN AND SPECIFICATION BY OTHERS.
 - EXISTING 4'-5" W x 4'-0" H SLIDING WINDOW TO REMAIN

WALL TYPE LEGEND
REFER TO WALL TYPE NOTES, SHEET T2

(STC 32)
INTERIOR DWELLING UNIT WALLS.
1 LAYER 5/8" GYPSUM BOARD ON EACH SIDE 2 X 4 STUDS @ 16" O.C.. FILL STUD CAVITY WITH 3-1/2" SOUND ATTENUATION BATT. EXTEND WALL TO UNDERSIDE OF ROOF STRUCTURE

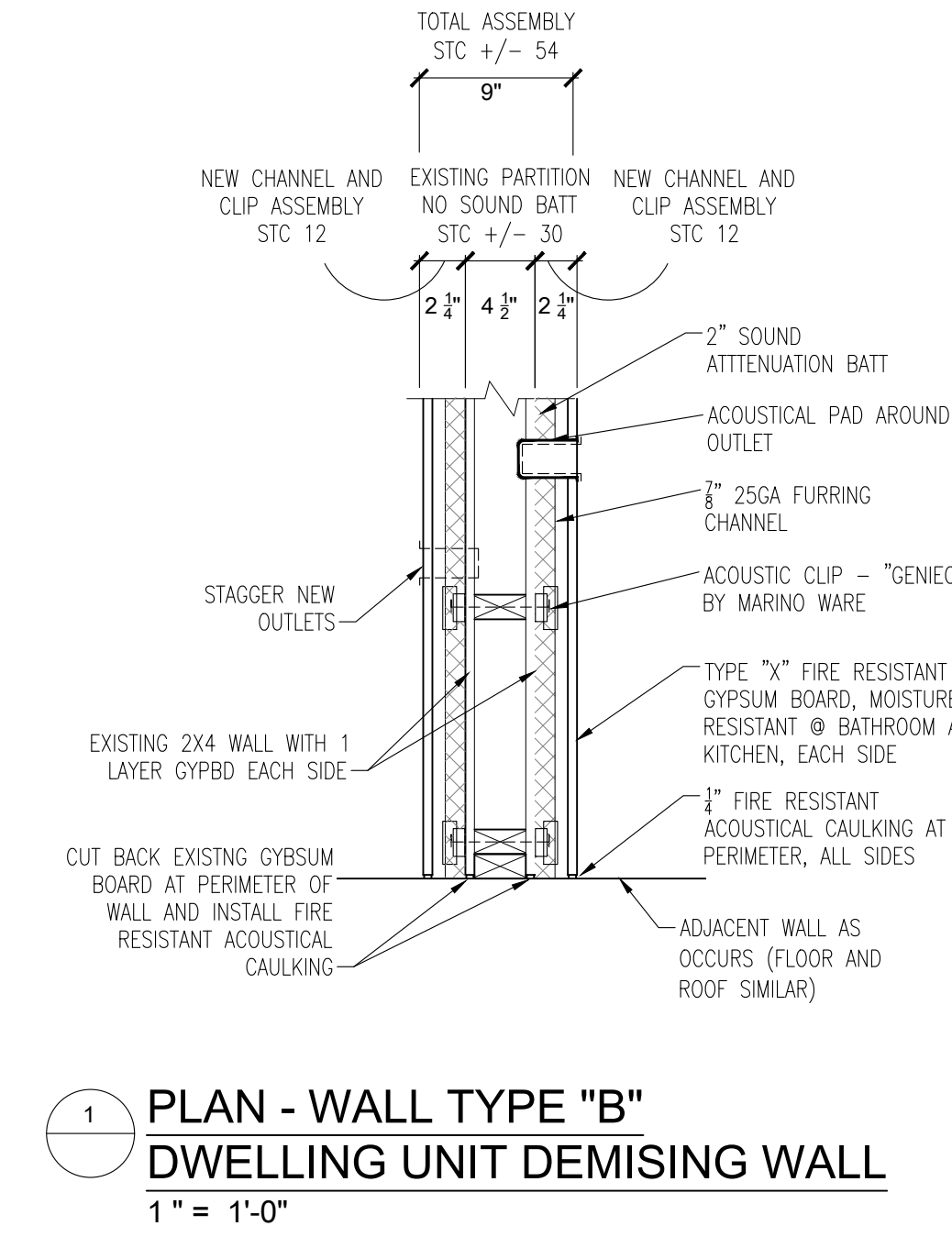
FIRE RATED. 1 HR SOUND : (STC 54) DWELLING UNIT DEMISING WALLS

REFER TO DETAIL 1, THIS DRAWING.
EXISTING DEMISING WALL: 2 X 4 STUD WALL WITH 1 LAYER GYPSUM BOARD EACH SIDE. ON EACH SIDE OF EXISTING WALL, INSTALL ACOUSTIC CLIPS AND 5/8" HORIZONTAL FURRING CHANNELS @ 16" O.C.. INSTALL 1 LAYER "TYPE X" FIRE RESISTANT 5/8" GYPSUM BOARD.

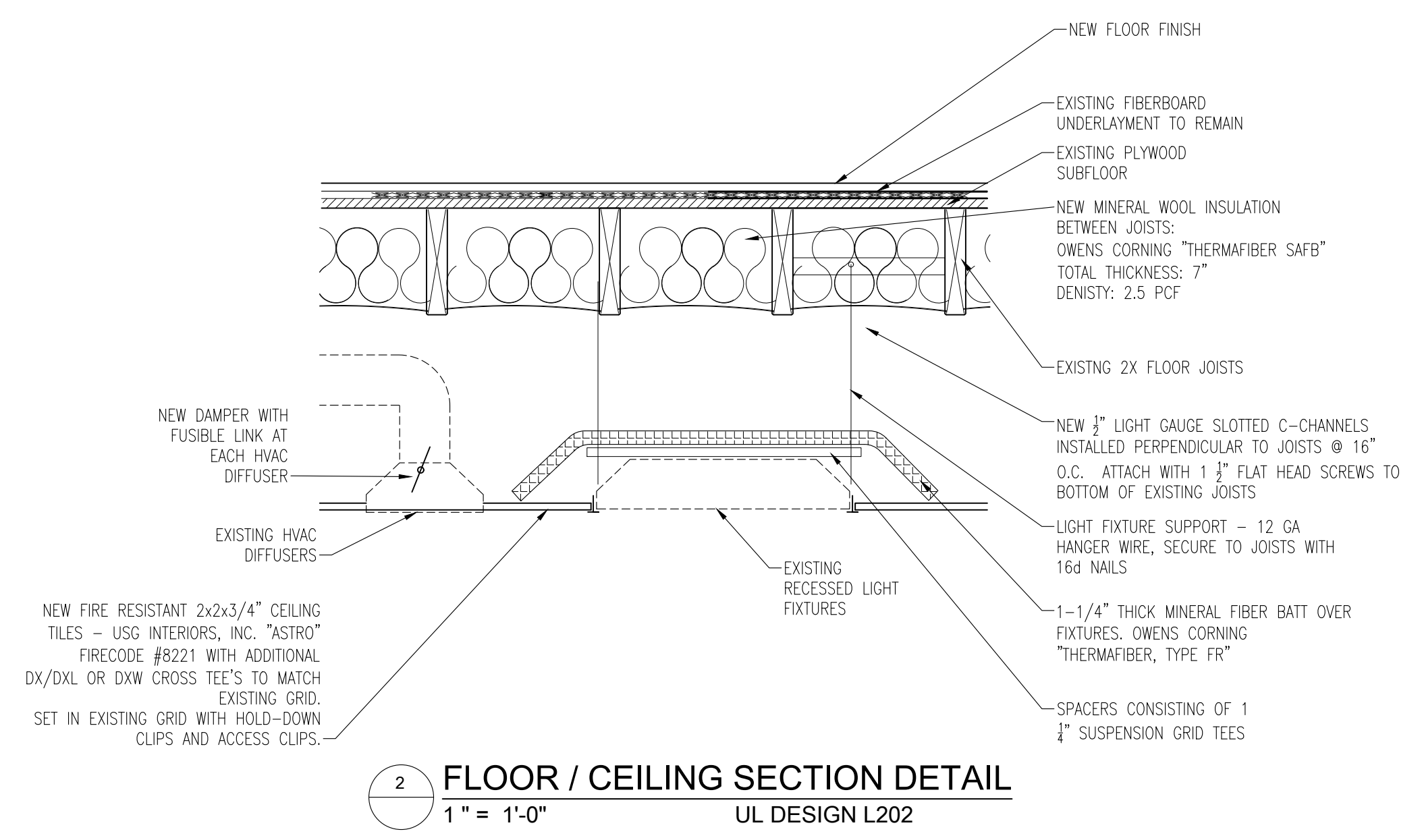


FLOOR PLAN - 201 (463 SF)
1/4" = 1'-0"

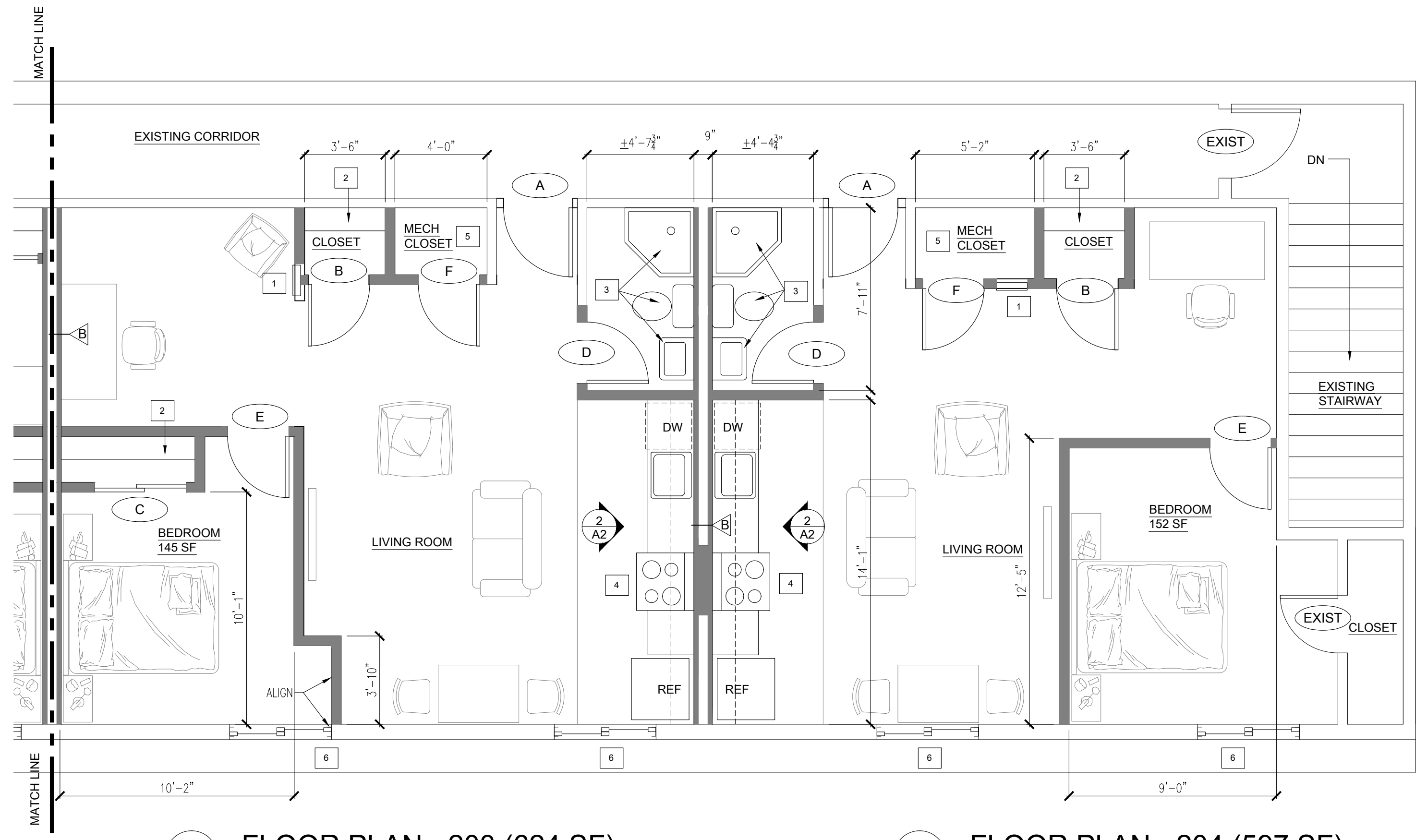
FLOOR PLAN - 202 (688 SF)
1/4" = 1'-0"



PLAN - WALL TYPE "B"
DWELLING UNIT DEMISING WALL
1" = 1'-0"



FLOOR / CEILING SECTION DETAIL
1" = 1'-0"
UL DESIGN L202



FLOOR PLAN - 203 (624 SF)
1/4" = 1'-0"

FLOOR PLAN - 204 (597 SF)
1/4" = 1'-0"



Paul A. Castellone

STAMP OCT 28, 2020

ROOM FINISH SCHEDULE						
ROOM NAME	FLOOR	WALLS	CEILING	CEILING HEIGHT	REMARKS	
BATHROOMS	CERAMIC TILE	CERAMIC TILE	PAINT	GYPSUM BOARD	8'-0"	
LIVING ROOMS	CARPET OR LAMINATE PLANK	VINYL OR WOOD	PAINT	CEILING TILE	8'-0"	
BEDROOMS	CARPET OR LAMINATE PLANK	VINYL OR WOOD	PAINT	CEILING TILE	8'-0"	
KITCHEN AREAS	VINYL	VINYL	PAINT	CEILING TILE	8'-0"	

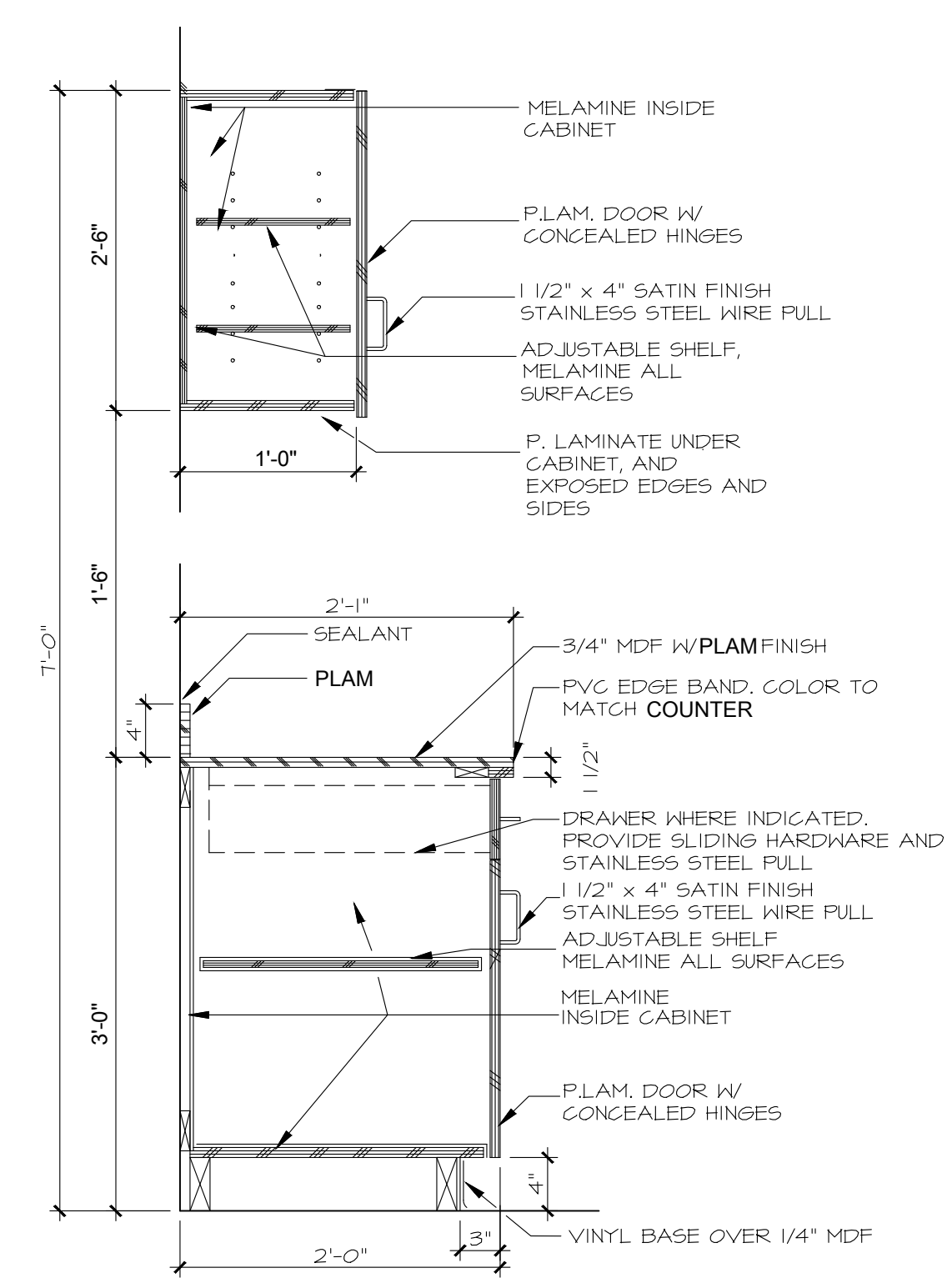
1. WALL AND CEILING FINISH MATERIALS SHALL COMPLY WITH ASTM E 84 "STANDARD TEST METHOD FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS" AS FOLLOWS
 a. INTERIOR WALL AND CEILING FINISH MATERIALS IN DWELLING UNITS SHALL BE CLASS A, B, OR C
 b. INTERIOR WALL AND CEILING FINISH MATERIALS IN EXIT ENCLOSURES SHALL BE CLASS A
 c. INTERIOR WALL AND CEILING FINISH MATERIALS IN CORRIDORS SHALL BE CLASS A OR B
 2. CARPET SHALL COMPLY WITH ASTM D 2859 "STANDARD TEST METHOD FOR IGNITION CHARACTERISTICS OF FINISHED TEXTILE FLOOR COVERING MATERIALS"
 3. EXIT ACCESS CORRIDOR FLOOR FINISHES SHALL NOT BE LESS THAN CLASS II, WITH A CRITICAL RADIANT FLUX NOT LESS THAN 0.22W/CM²
 4. FLOOR COVERINGS OTHER THAN CARPET SHALL HAVE A MINIMUM CRITICAL RADIANT FLUX OF 0.1 W/CM²
 5. INTERIOR TILE AND VINYL FLOOR FINISHES SHALL BE NON-SLIP MATERIALS, WITH A COEFFICIENT OF FRICTION OF 0.60 OR GREATER

DOOR SCHEDULE												
TYPE	LOCATION	DOOR						FRAME				
		TYPE	SIZE	MAT.	LABEL	FINISH	MAT.	LABEL	FINISH	HWRE SETS		
										PUSH	PULL	
A	ENTRANCE	HINGED	3 X 7'	SC WD	20 MIN.	P	P	HM	20 MIN.	P	P	HW-1
B	CLOSET	HINGED	3 X 7'	WD		P	P	WD	0	P	P	HW-2
C	CLOSET	SLIDER	4' X 6'-8"	WD		P	P	WD	0	P	P	HW-3
D	BATHROOM	HINGED	2'-6" X 6'-8"	WD		P	P	WD	0	P	P	HW-4
E	BEDROOM	HINGED	2'-8" X 6'-8"	WD		P	P	WD	0	P	P	HW-4
F	MECH CLOSET	HINGED	2'-8" X 6'-8"	SC WD		P	P	HM	0	P	P	HW-5

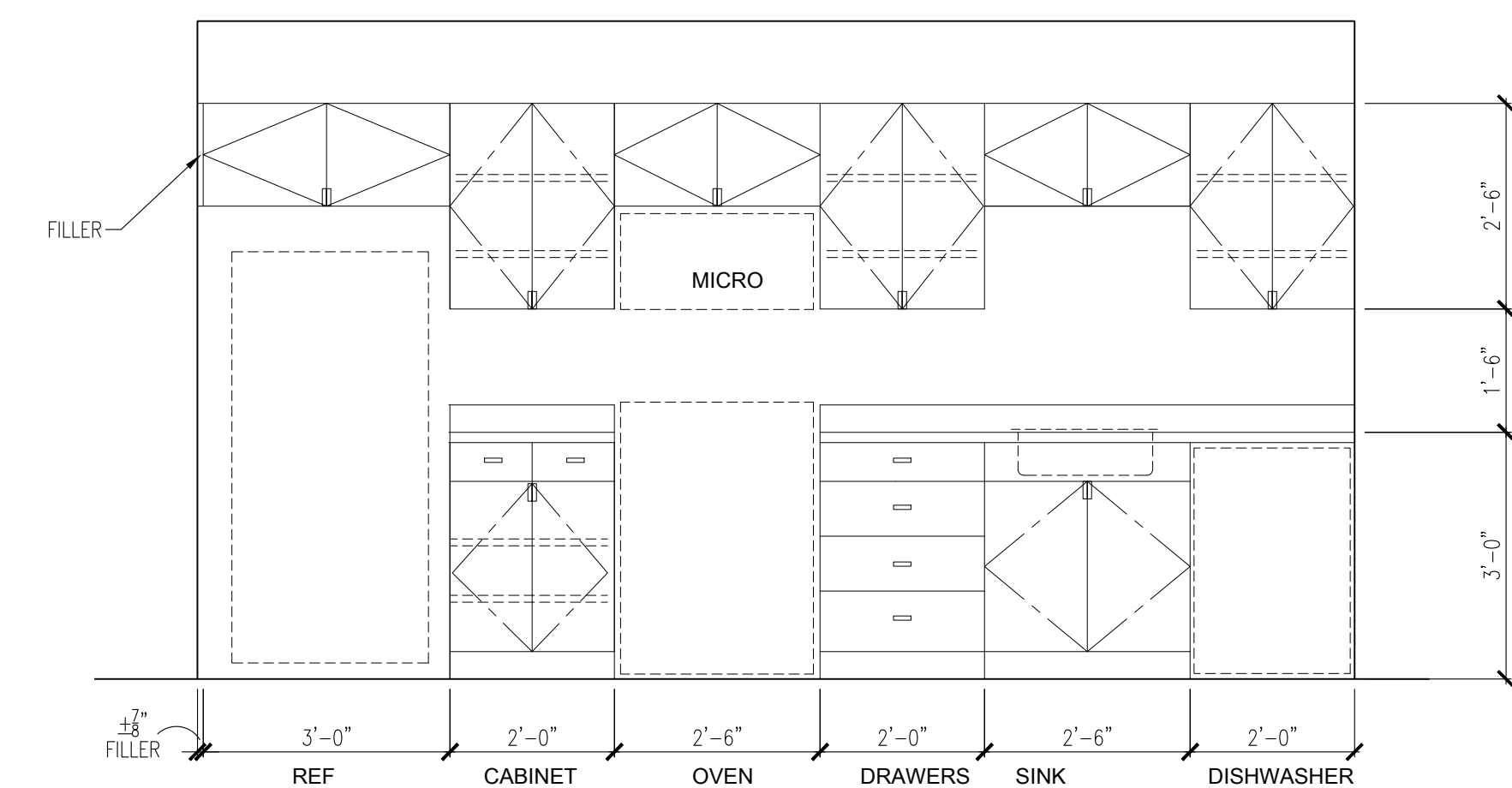
DOOR / FRAME NOTES:
 1. HOLLOW METAL FRAMES SHALL BE FACTORY PRIMED, KNOCK-DOWN WITH MITRED CORNERS.
 2. FLUSH WOOD DOORS SHALL BE 7-PLY 1 1/4" SOLID CORE, WITH ROTARY UNIFORM LIGHT BIRCH VENEER, BOOK MATCHED. FACTORY FINISH, SATIN OR SEMI GLOSS.

SET NO.	DOORS	HARDWARE
HW-1	A DWELLING UNIT ENTRANCE	<ul style="list-style-type: none"> 1-1 / 2 PR. BB HINGES 1 LOCKSET DEADBOLT CLOSER OR SPRING HINGES 1 WALL/FLOOR STOP 3 SILENCERS VIEWER
HW-2	B CLOSET	<ul style="list-style-type: none"> HEAD HUNG TRACK PULLS 3 SILENCERS EACH LEAF
HW-3	C CLOSET	<ul style="list-style-type: none"> 1-1 / 2 PR. BB HINGES 1 PASSAGE SET 1 WALL/FLOOR STOP 3 SILENCERS
HW-4	D, E BEDROOM BATHROOM	<ul style="list-style-type: none"> 1-1 / 2 PR. BB HINGES 1 LOCKSET (PRIVACY) 1 WALL/FLOOR STOP 3 SILENCERS
HW-5	F MECH CLOSET	<ul style="list-style-type: none"> 1-1 / 2 PR. BB HINGES 1 STOREROOM LOCKSET 1 WALL/FLOOR STOP 3 SILENCERS

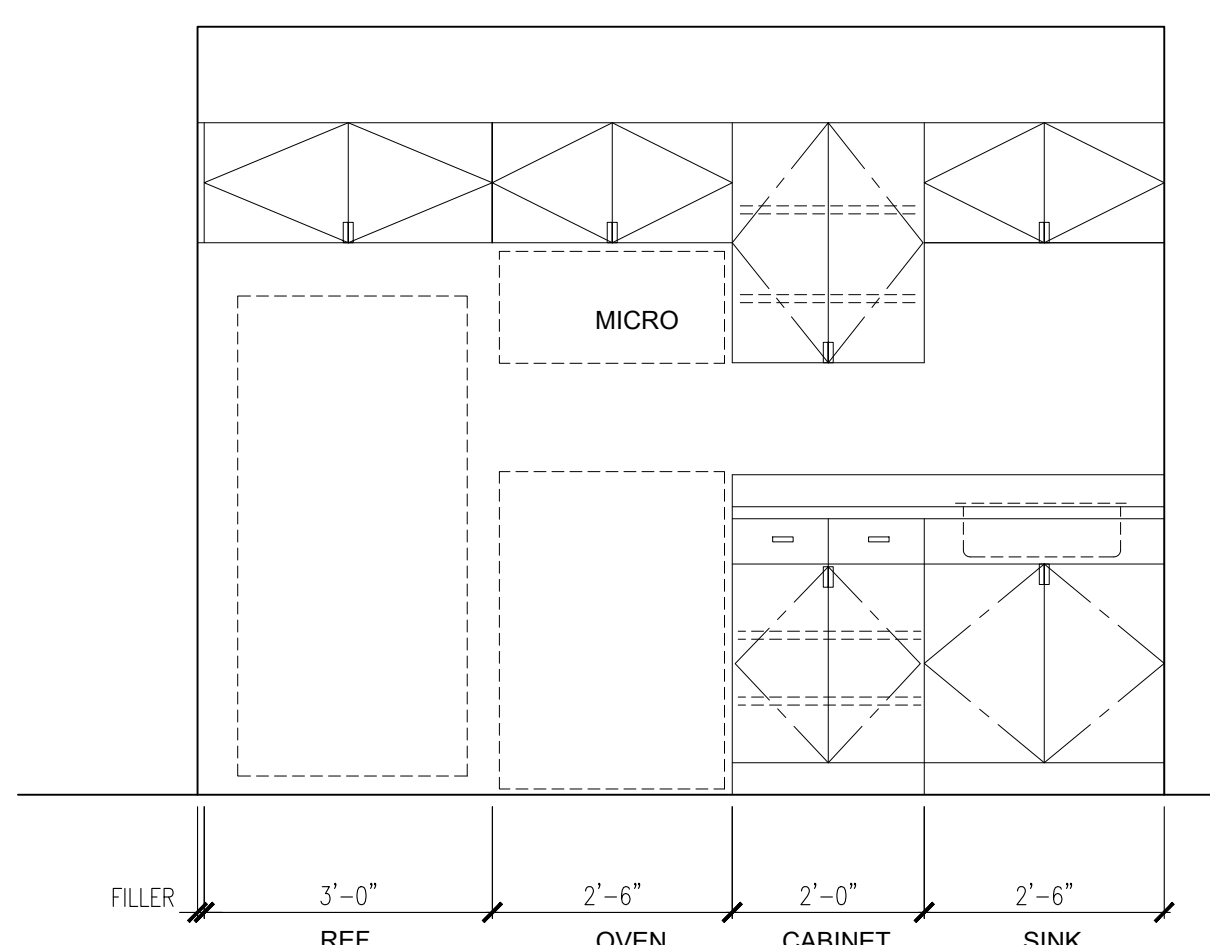
DOOR HARDWARE NOTES:
 1. FINISH TO BE US26D (BRUSHED CHROME), OR OTHERWISE SELECTED BY OWNER
 2. ALL DOOR HARDWARE TO BE ADA / ANSIA117.1 COMPLIANT.



1 KITCHEN CABINET SECTION
1" = 1'-0"



2 DWELLING UNITS 203, 204
KITCHEN ELEVATION
1/2" = 1'-0"



3 DWELLING UNITS 201, 202
KITCHEN ELEVATION
1/2" = 1'-0"

- GENERAL MILLWORK NOTES
- ALL MILLWORK SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST EDITION OF ARCHITECTURAL WOODWORK INSTITUTE'S "ARCHITECTURAL WOODWORK STANDARDS", CUSTOM GRADE.
 - VERIFY ALL DIMENSIONS WITH CATALOG CUTS OF ACTUAL EQUIPMENT AND HARDWARE TO BE USED. COORDINATE ROUGH-IN LOCATIONS WITH FIELD DIMENSIONS PRIOR TO FABRICATION. FIELD-CUT PLYWOOD COUNTERTOPS.
 - UNLESS NOTED OR DETAILED OTHERWISE, PROVIDE A 4" LAMINATED BACKSPLASH WHERE COUNTERTOPS MEET WALLS. FINISH TO MATCH COUNTERTOP.
 - UNLESS NOTED OR DETAILED OTHERWISE, INTERIOR CONCEALED SHELVEING SHALL BE 3/4" MELAMINE WITH PVC EDGE BAND. EXPOSED SHELVEING SHALL BE 3/4" PLYWOOD WITH PLASTIC LAMINATE FINISH AND PVC EDGE BAND.
 - SCRIBE AND CUT MILLWORK DURING INSTALLATION TO COMPENSATE FOR IRREGULAR WALL AND FLOOR SURFACES. INSTALLATION SHALL BE LEVEL AND TIGHT AT ALL FLOOR AND WALL SURFACES.
 - CAULK ALL SCRIBED JOINTS WITH CLEAR SILICONE SEALANT, OR COLORED SEALANT AS APPROVED BY ARCHITECT.
 - PROVIDE AND INSTALL NESTED WOOD BLOCKING IN WALL CONSTRUCTION TO ADEQUATELY SUPPORT THE MILLWORK FOR ITS INTENDED USE. PROVIDE NON-COMBUSTIBLE OR FIRE-RATED BLOCKING IN FIRE-RATED WALL ASSEMBLIES.
 - ALL HORIZONTAL PLASTIC LAMINATE SURFACES SHALL HAVE MANUFACTURERS' APPROVED ABRASIVE-RESISTANT FINISH.
 - WHERE THE EDGES OF PLASTIC LAMINATE ARE EXPOSED, PLASTIC LAMINATES SHALL HAVE BLACK BACKING.
 - HARDWARE: UNLESS NOTED OR SPECIFIED OTHERWISE, MILLWORK HARDWARE SHALL CONSIST OF THE FOLLOWING:
 MEDIUM DUTY, FULL EXTENSION DRAWER SLIDES.
 HEAVY DUTY, CONCEALED HINGES WITH 170 DEGREE OPENINGS.
 4" SATIN OR BRUSHED STAINLESS STEEL OR NICKEL PULLS

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SCHEDULES

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 DATE: JULY 13, 2017
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 #1 OCT 28, 2020 - CODE UPDATE
 #2
 #3
 #4

DRAWING NUMBER:

A2

ISSUED FOR PERMIT
OCT 28, 2020